

2020

DESIGN OF THE CITY COMMITTEE



Gateway to the Future

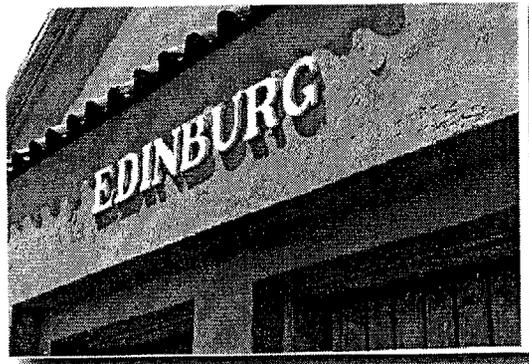
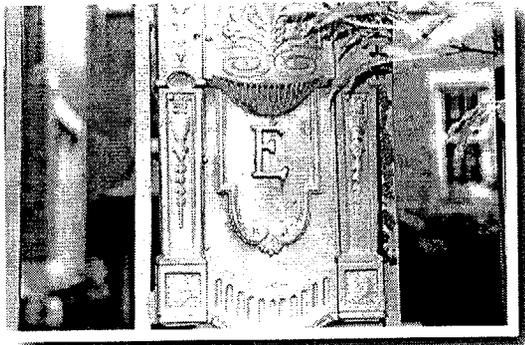
Strategies for  
a progressive  
tomorrow...

City of

**EDINBURG**

*Architectural Design*  
Review Handbook

**Creating the Vision**



# *Architectural Design* **Review Handbook**

A Guide to Architectural Design and Site Planning in Edinburg, Texas

## **ACKNOWLEDGMENTS**

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Mayor

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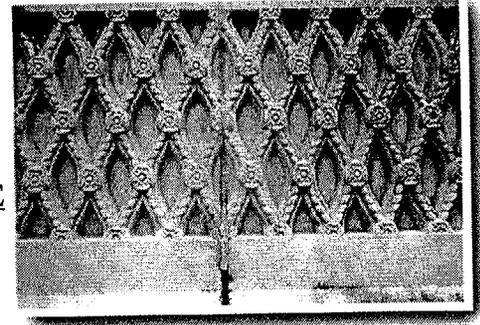
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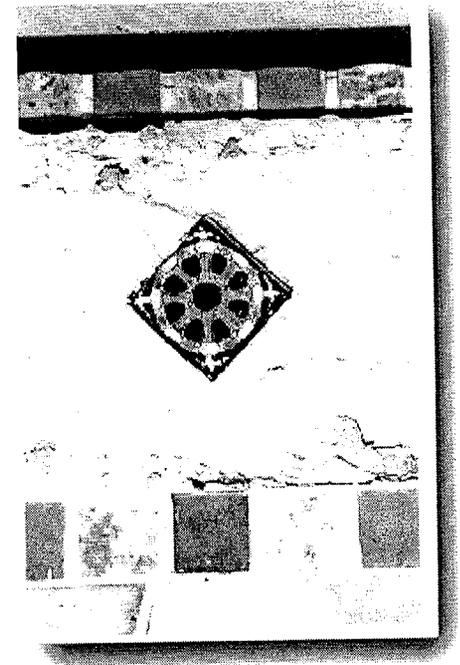
Special thanks are extended to Terry Morales-Best, Architect, and Robert Gandy III, Landscape Architect, for the conception and development of this ordinance and manual. Special assistance was provided by the Edinburg Chamber of Commerce. The First National Bank of Edinburg provided financial assistance for this project.

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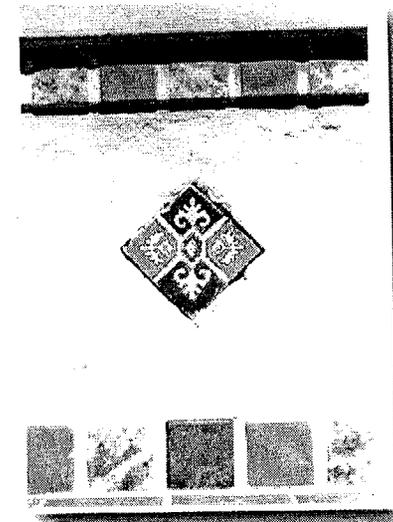
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# ARCHITECTURAL DESIGN REVIEW ORDINANCE

A guide to architectural design and site planning standards in Edinburg, Texas.



## INTRODUCTION

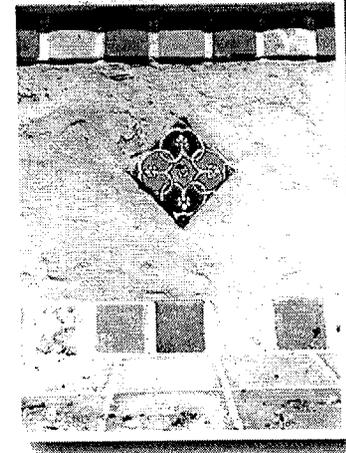
This handbook is designed to clarify, explain and expedite the use and enforcement of the Edinburg Architectural Design Review Ordinance. This ordinance was adopted by the City Council on September 17, 1996 and became effective on September 27, 1996.

The purpose and intent of the Architectural Design Review Ordinance is to preserve and promote Edinburg's unique cultural heritage, distinct visual character, and regional architectural traditions. It is also designed to enhance the unique conjunction of four major influences: Hispanic Culture, Ranch Heritage, Subtropical Climate, and the presence of The University of Texas-Pan American (UT-PA).

Although the ordinance does not require adherence to a particular architectural style, it does encourage respect for the general qualities and characteristics that make Edinburg's architecture unique. A few of these qualities and characteristics are forms, materials, textures and colors, of roofs, wall and fences, and various architectural motifs and accents, and the use of native landscape materials.

Compliance with this ordinance is required for commercial, industrial, institutional and multiple-family residential buildings located inside the City. Detached single-family residences are exempt.

The Architectural Design Review Ordinance utilizes a point system to evaluate a building's architectural and site design plan. The required point total, or degree of compliance for a given project, varies depending on the zoning district in which a parcel is located and on the nature of the proposed improvements.



## **PROCEDURES**

### **DETERMINE PROJECT APPLICABILITY**

All new construction, additions, exterior remodeling and the repainting or restuccoing of buildings in a different color shall comply with the requirements of this ordinance except as set forth in the following paragraph:

#### **Compliance with the provisions of this ordinance is not required for the following:**

- \* Detached single-family and related accessory structures. (Three or more attached condominium units must comply, but any number of attached townhouses, if on separate legal lots of record, need not comply.)
- \* Structures other than buildings except as required by this ordinance. (Walls, fences and similar structures, unless part of a project or development requiring compliance, need not meet the requirements of this ordinance. Filling station canopies must comply.)
- \* Exterior building features not subject to public view. (For purposes of this ordinance, public view and public visibility means visible to the public standing on any adjacent street, way, or public place without trespassing.)

Agencies of the county, state and federal governments are encouraged to comply with the Architectural Design Review Ordinance.

Design standards contained in this ordinance shall neither supersede nor negate other design standards found in any ordinance of the City of Edinburg.

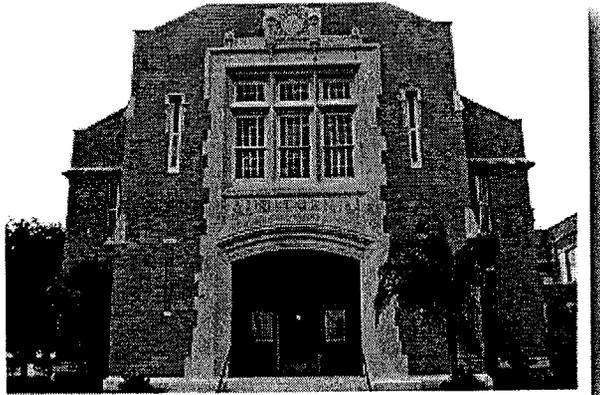
## IDENTIFY ARCHITECTURAL ZONE

The City is comprised of Three Architectural Districts:

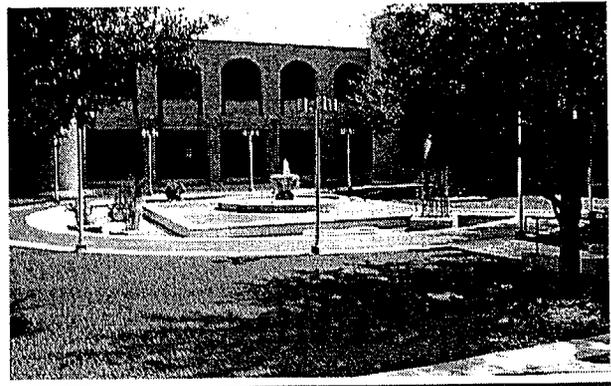
- I. **ORIGINAL TOWNSITE.** Includes an area comprising the original townsite of Edinburg (OTSE) and any area not included in another architectural district.
- II. **THE UNIVERSITY DISTRICT.** Includes areas around and adjoining the University of Texas-Pan American — 10th St. as East Boundary and McColl Rd. as the West Boundary. The South Boundary is Cano Street West to 4th Street thence, South on 4th St. to Sprague thence West to McColl. The North Boundary is an East-West line 600' North of Schunior.
- III. **RANCH DISTRICT.** Includes areas around the Hidalgo County Historical Museum with McIntyre as the South Boundary, 10th St. as West Boundary to Schunior and thence west on a line 600 ft. North of Schunior, to the city limits. The East Boundary is 12th Street to Schunior, thence East to the city limits.

## IDENTIFY ZONING DISTRICT

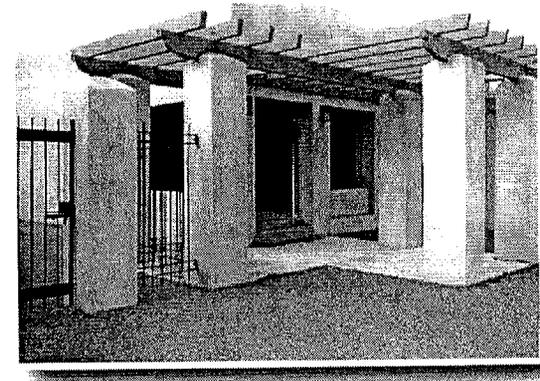
Point requirements and standards vary according to the zoning district in which a project is located. Projects located in commercial zones must achieve the highest totals, projects in residential zones slightly lower totals, and projects in industrial zones the lowest totals. To determine the specific zoning designation of a particular piece of property, the reader should refer to the Official Zoning Map for the City of Edinburg.



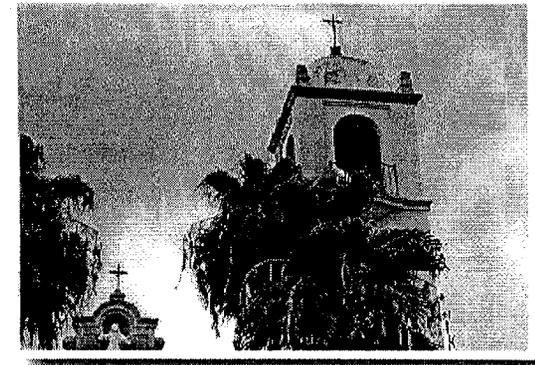
**Original Townsite**



**University**



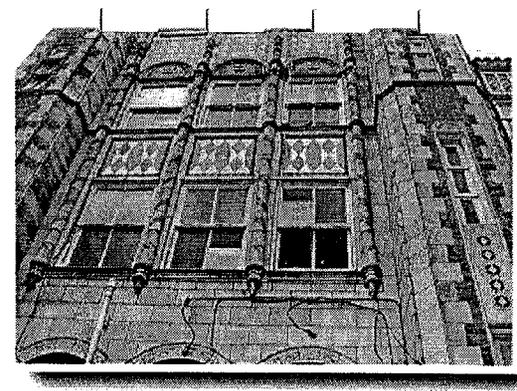
**Ranch**



## CLASSIFY CONSTRUCTION TYPE

In addition to the zoning district in which a project is located, point requirements also depend on the type of construction proposed. For purposes of this ordinance, construction is divided into the following five categories:

- A. **New Construction.** The construction of an entirely new building or buildings on a vacant legal lot of record. Neither alterations to existing buildings, nor any addition of gross floor area to a legal lot of record already containing gross floor area, shall be considered new construction.
- B. **Major Addition.** Any construction which will increase the gross floor area on a legal lot of record by more than 25% of the existing floor area.
- C. **Minor Addition.** Any construction which will increase the gross floor area on a legal lot of record by less than or equal to 25% of the existing floor area.
- D. **Major Elevation Change.** Any exterior remodeling requiring structural alterations involving more than 50% of a building's publicly visible facade and visible roof area. Structural alteration means the addition or deletion of building elements including but not necessarily limited to doors, windows, or other fenestration; and any changes in the type of finish material used.
- E. **Minor Elevation Change.** Any exterior remodeling requiring structural alterations involving less than or equal to 50% of a building's publicly visible facade and roof area, or any repainting or restuccoing in a different color.



## EVALUATE PROJECT DESIGN

Based on the zoning district in which a project is located and on the type of construction proposed, compliance must be achieved with the point requirements set forth in the following table. Points are allotted according to the architectural design and site planning standards found on pages 8 through 24 of this handbook.

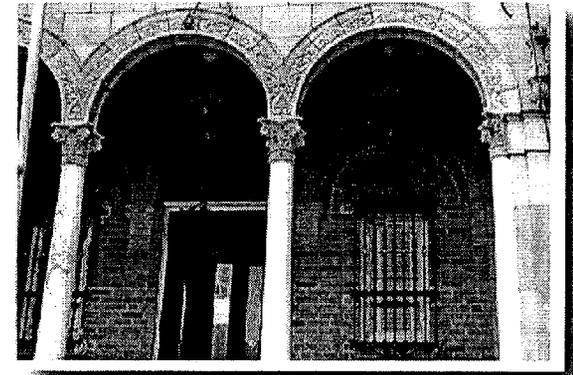
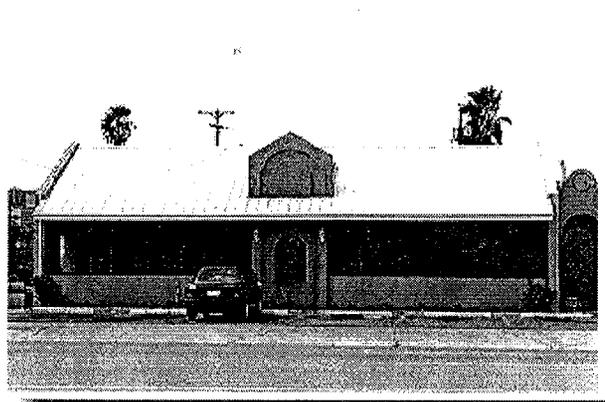
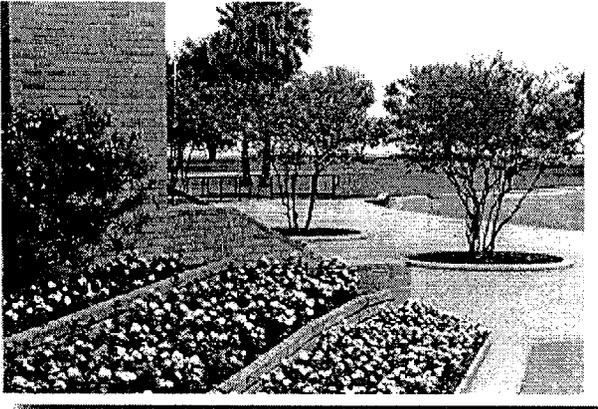
### \*POINT REQUIREMENTS\*

Zoning District	New Const.	Major Addition	Minor Addition	Major Elev Change	Minor Elev Change
Commercial Zones	225	225 (1)	225 (2)	235 (1)	0 (3)
Residential Zones	190	190 (1)	(3)	(3)	0 (3)
Industrial Zones	160	160 (1)	160 (2)	160 (1)	0 (3)

Total Possible Points: 320

#### Notes:

- (1) Points shall be calculated on the entire property, both existing and publicly visible improvements.
- (2) Points shall be calculated on proposed, publicly visible construction only.
- (3) No specific number of total points is given, however, no proposed work shall result in a lesser point total than existed prior to construction.



## **PREPARE NECESSARY SUBMITTALS**

At a minimum, a site/landscaping plan, floor plan, and exterior elevations are required in order to determine a project's compliance with the Architectural Design Review Ordinance. Additional drawings such as sections, details, and roof plans are also recommended.

All required submittals must contain the information and must be drawn according to the criteria set forth on pages 6 and 7 of this handbook. Incomplete or otherwise inadequate submittals will not be evaluated.

## **APPLY FOR REVIEW**

Upon applying for a building permit, a calculation of architectural design and site planning points will be performed by city staff for all applicable projects. If a project does not meet the point requirements set forth on page 4 of this handbook, the applicant shall, prior to the issuance of their building permit, modify the submittals so as to achieve the required number of points.

A preliminary calculation of architectural design and site planning points can be performed earlier in the design process upon request. Two copies of all required submittals must be provided in order for this review to be performed. Points will be recalculated at time of final review and may differ from those calculated during the preliminary review if dimensions, features, details, or specifications have been altered or in any way modified.

## **SUBMITTALS**

The following submittals are required in order to determine a project's compliance with the Architectural Design Review Ordinance. Additional submittals in the form of sections, details and roof plans are also recommended. Calculations showing the building's gross floor area, the color and surface area of each exterior material, the surface area of all exterior doors, windows and glazing, must be shown on the required submittals. Incomplete or otherwise inadequate submittals will not be evaluated.

## **SITE/LANDSCAPING PLAN**

Minimum scale: 1" = 20'- 0"

This drawing or series of drawings must show the size, location, and characteristics of all site improvements including lighting and equipment. Driveways, parking lots, delivery areas, trash dumpster locations, signs, walls, fences, sidewalks, light standards, mechanical and electrical equipment, satellite dishes, and landscaping must all be indicated if utilized. Landscaping plans must contain the names (common and botanical), quantities, locations, and sizes at time of planting (caliper or gallon) for all materials used. A description of the proposed system of irrigation must also be included.

Plans shall be prepared on a standard size drawing sheet (24" X 36") and shall comply with the City of Edinburg Landscape Ordinance.

## **FLOOR PLAN**

Minimum scale: 1/8" = 1' - 0"

This plan, or plans in the case of multi-story buildings, must show the size, placement, and configuration of all exterior building features. Wall planes, posts, columns, doors, windows, portals, canopies, and roof overhangs must be shown. The buildings gross floor area should also be indicated on this plan.

## **EXTERIOR ELEVATIONS**

Minimum scale: 1/8" = 1' - 0"

These drawings, usually four in number, must show the size, location, materials, colors and other characteristics of all exterior building features including lighting and equipment. All materials, colors, window and door types, glazing systems, wall and roof mounted equipment, and lighting must be shown. The surface area of all materials, colors, doors, windows and glazing should also be indicated on these drawings. It is strongly recommended that paint chips or color swatches be attached to the elevations for each exterior color used. Color photographs may be submitted in lieu of exterior elevations for existing buildings and improvements.

# ARCHITECTURAL DESIGN STANDARDS

Architectural design points shall be allotted according to the following criteria. Partial point allotments will not be granted.

Points shall be calculated for only those architectural design features that are publicly visible from a street, way or public place. All exterior features will be considered publicly visible unless the applicant can verify otherwise.

IF A BUILDING FEATURE OR ELEMENT CANNOT BE EVALUATED BECAUSE IT IS NOT REQUIRED AND DOES NOT EXIST, THE MAXIMUM ALLOWABLE POINT ALLOTMENT FOR THAT FEATURE OR ELEMENT SHALL BE GRANTED.

(Example: In the case of a building that has no exterior roof or wall mounted equipment, the maximum possible allotment of 10 points would be granted under the section pertaining to the screening of equipment.)

For purposes of these standards, “predominate” means having the most publicly visible surface area.



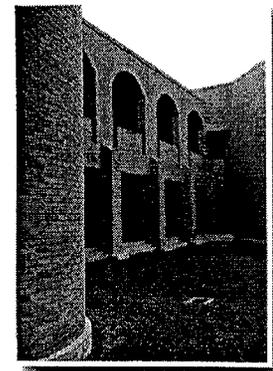


## WALLS

For the purposes of these standards, “walls” shall be any exterior surfaces on a building that are either vertical or have a slope steeper than one half foot of horizontal run for every twelve feet of vertical rise. Stuccoed parapets need not meet the slope criteria. “Fenestration” shall be any exterior windows or doors. “Portals and canopies” shall be roofed structures having supporting posts or columns.

### Predominant Exterior Surface Material

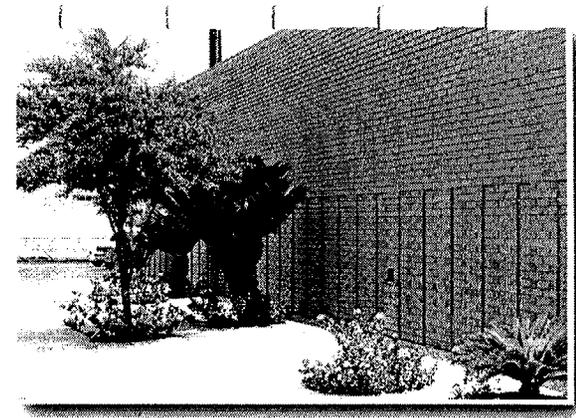
Standard	Points		Orig. Townsite	University	Ranch
	30	a.	Brick Stucco	Brick (San Jose type)	Brick Stucco Vertical board and batten Stone.
	25	b.	Limestone Integrally Colored Unit Masonry(ICUM) Glass block	Limestone ICUM Other types of brick Stucco	ICUM Standing seam metal
	20	c.	Concrete Glass curtainwall Wood siding and Wood simulated Materials Non-ICUM	Concrete Glass curtainwall Wood siding and Wood simulated Materials Glass block	Concrete Glass curtainwall Other wood siding and Wood simulated materials Glass block Non-ICUM
	-10	d.	Mirrored glass Curtainwalls Metal	Mirrored glass Curtainwalls Metal, Non-ICUM	Mirrored glass Curtainwalls



## WALLS (Cont'd)

### Color of Predominant Exterior Surface Material

Standard	Points		Orig. Townsite	University	Ranch
	30	a.	White, Off-white	Buff brown, tan	Buff brown, tan
	20	b.	Earhtones, creams & pastels of earth-tone hues including but not necessarily limited to rose, peach & terra cotta colors.	Earhtones, creams & pastels of earth-tone hues including but not necessarily limited to rose, peach & terra cotta colors.	Earhtones, creams & pastels of earth-tone hues including but not necessarily limited to rose, peach & terra cotta colors.
	15	c.	Pastel colors of non-earthtone hues, yellows, greens and grayish greens.	White, Pastel colors of non-earthtone hues, yellow, greens and grayish greens.	Off-white Pastel colors of non-earthtone hues, yellow, greens and grayish greens.
	-10	d.	High-intensity colors, metallic colors, red and black.	High-intensity colors, metallic colors, red and black.	High-intensity colors, metallic colors, red and black.



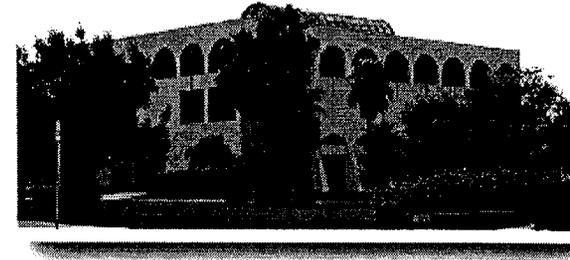
**WALLS (Cont'd)**

**Exterior Surface Treatment (All Districts)**

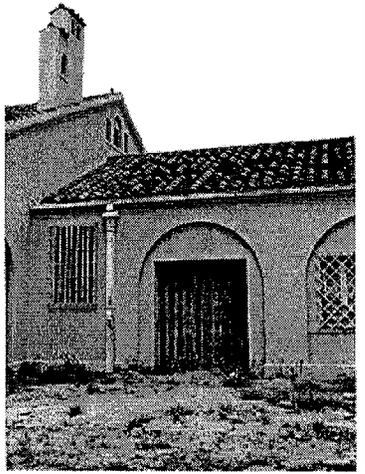
Standard	Points	Orig. Townsite	University	Ranch
10	a.	Wall surfaces appear monolithic with at least 75% of the total wall area, one material and one color. [Differing shades of the same general hue shall not be considered different colors. Non-solar fenestration, window and door awnings, applied trim, and accent materials, colors and decorative bands (with the exception of stucco, masonry or concrete control joints) are used in such a way that they do not give a panelized or prefabricated appearance or produce checkerboard patterns. Fenestration and/or accent colors on wall surfaces under portals or canopies having a horizontal depth of at least 6 ft. shall be exempt from area calculations.]		
-10	b.	Wall surfaces do not meet the criteria set forth in subsection (a) above.		

# ROOFS

For purposes of these standards, “roofs” shall be any surfaces covering a building, area or space that are horizontal or have a slope less steep than one half foot of horizontal run for every twelve feet of vertical rise. “Flat roofs” shall have a slope less than or equal to one-half vertical foot of rise for every twelve horizontal feet of run. “Uniformly sloping roofs” shall include gable, hip, and shed styles with no more than two differing roof plane slopes. “Non-uniformly sloping roofs” shall include but not necessarily be limited to domed, vaulted, hyperbolic, mansard, false mansard and gambrel styles. Roofs include overhangs over porches, porticos, and covered walks.



Standard	Points	Orig. Townsite	University	Ranch
<b>Roof Form</b>	20	a. Flat roofs entirely hidden from public view by parapets.	Flat roofs entirely hidden from public view by parapets.	Flat roofs entirely hidden from public view by parapets.
	15	b. Flat roof surfaces not entirely concealed from public view by parapets, uniformly sloping roofs, or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls. The permitted roof slopes to be equal to or to be greater than 5 ft. rise to 12 ft but less than or equal to 12 ft rise to 12 ft.	Except that vaulted roofs are permitted in University Dist.	Except that gambrel roofs are permitted in Ranch District.
	10	c. Uniformly sloping roofs or any combination of flat and uniformly sloping roofs, having a height, from springline to peak, that does not exceed the average height of the supporting walls and having a slope with less than four feet of vertical rise for every twelve feet of horizontal run.		
	-10	d. Any type of sloping roof having a height , from springline to peak, that exceeds the average height of the supporting walls; non-uniformly sloping roofs; or any combination of flat and non-uniformly sloping roofs.		



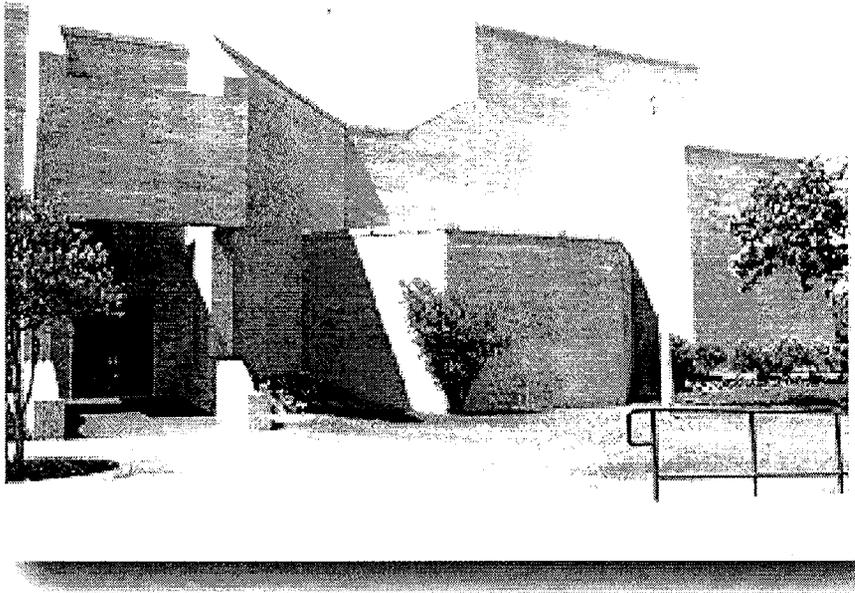
### Predominant Roof Material

Standard	Points	Original Townsite	University	Ranch
	20	a. All surfaces concealed from public view, or barrel tiles of concrete or clay.	All surfaces concealed from public view.	All surfaces concealed from public view
	15	b. Flat tiles of concrete, clay or slate. Barrel tiles of concrete, clay. Copper metal.	Flat tiles of concrete, clay or slate. Copper metal. Glass.	Standing seam metal (all types). Flat tiles of concrete, clay, slate. Copper metal. Wood shingles.
	10	c. Wood textured composition shingles. Standing seam metal.	Barrel tiles of concrete, clay. Standing seam metal	Barrel tiles of concrete, clay. Wood textured composition shingles.
	-10	d. Plastic, fiberglass, other metal. Non-textured composition shingles. Glass.	Plastic, fiberglass, Composition shingles, Other metal roof.	Plastic, fiberglass. Non-textured composition shingles. Glass.



### Predominant Color

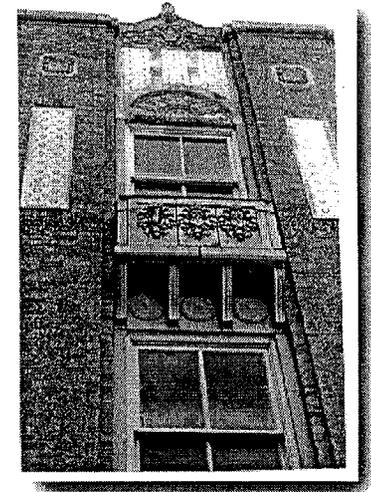
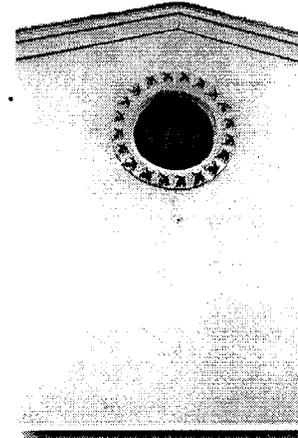
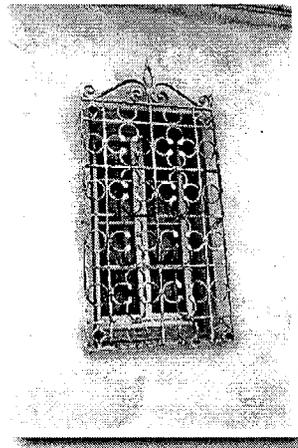
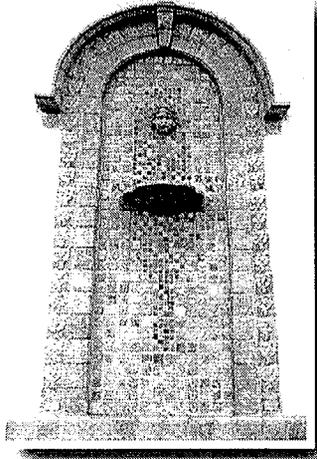
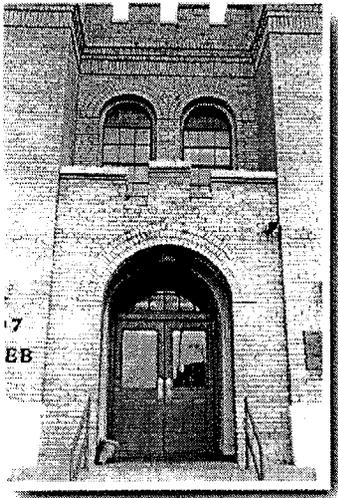
Points		Original Townsite	University	Ranch
15	a.	All surfaces concealed from view.  Browns, earthtones including copper metal.	All surfaces concealed from view.  Browns, earthtones including copper metal.	All surfaces concealed from view.  Browns, earthtones. Natural metals, aluminum zinc, tin, lead, copper.
10	b.	Low-intensity colors	Low-intensity colors Flat green	Low-intensity colors.
0	c.	White	White	White
-15	d.	Bright, high-intensity colors. (red, yellow, blue, silver)	Bright, high-intensity colors. (red, yellow, blue, silver)	Bright, high-intensity colors. (red, yellow, blue, silver)



## BUILDING FORM

### Massing

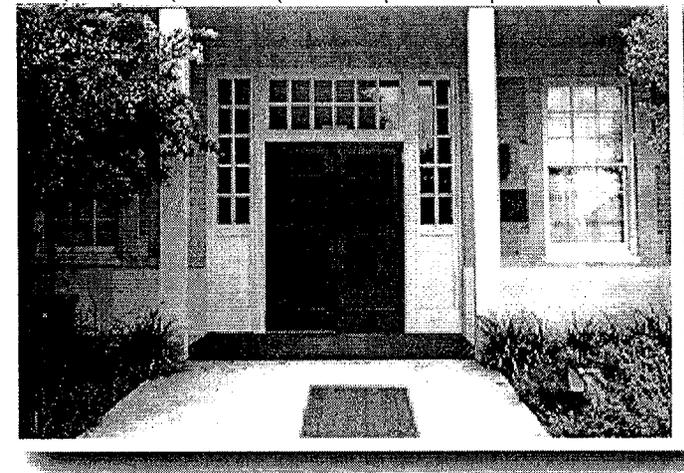
Points	Original Townsite	University	Ranch
20	a.	One-story buildings with over 10,000 sq. ft. of gross floor area and multi-story buildings with over 20,000 sq. ft. of gross floor area are designed with wall plane projections or setbacks on each publicly visible facade and have a depth of at least 6 feet.	
20	b.	One-story buildings with less than or equal to 10,000 sq.ft.of gross floor area and multi-story buildings with less than or equal to 20,000 sq.ft. of gross floor area are designed with either offsetting wall planes or upper story stepbacks of at least four horizontal feet or a recessed entry space or projecting canopy or portal having a depth of at least six horizontal feet on at least one publicly visible facade.	
0	c.	Buildings not utilizing the massing techniques described in sub-sections above.	



## Architectural Features

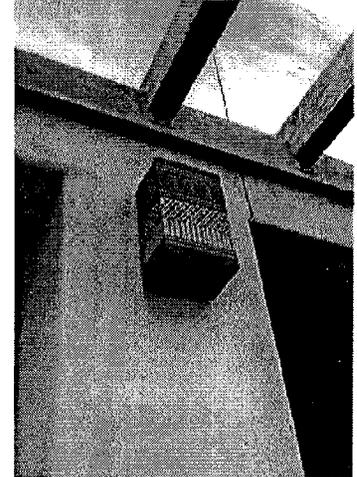
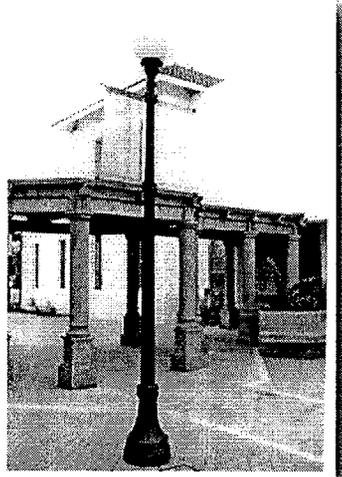
Design points are allotted for the use of each feature.

Standard	Points	Original Townsite	University	Ranch
	5	a.	Use of arches for doorways, windows, or portals with a spring point of at least 6 ft. above the ground	
	5	b.	Decorative tile trim or tile accents around roof perimeter, windows, doorways, entries, or signs.	
	5	c.	Decorative wrought iron, and wrought iron used as gates, fencing, windows, signage, railings, columns.	
	5	d.	Architectural decorative accents. Use of architectural decorative accents in complimentary materials including portal windows, stained glass, carved stone cantera, or plaster.	
	5	e.	Decorative use of brick, stucco, or stone accents around walls, columns, rooflines, doors and windows, including crown moldings.	



## DOORS AND WINDOWS

Standard	Points	Original Townsite	University	Ranch
<b>Treatment</b>				
	20	a.	More than 50% of doors, windows and glazed surfaces, which are not located under portals or canopies having a horizontal depth of at least 6 ft., have one of the following: frames recessed a minimum of 4 in.; or are cased with trim; or have divided lites; or have exposed or otherwise articulated lintels.	
	0	b.	More than 50% of doors, windows and glazed surfaces do not meet the requirements set forth in subsection above.	
<b>Glazing</b>				
	10	a.	All glazing is clear or tinted neutral gray.	
	0	b.	Any use of colored glazing.	
	-10	c.	Any use of mirrored glazing	
<b>Door Material</b>				
	10	a.	Solid wood doors. Decorative bronze doors. Wood frame doors, including french doors. Wood doors	
	5	b.	Paneled metal doors	
	0	c.	Glass doors.	



**LIGHTING**

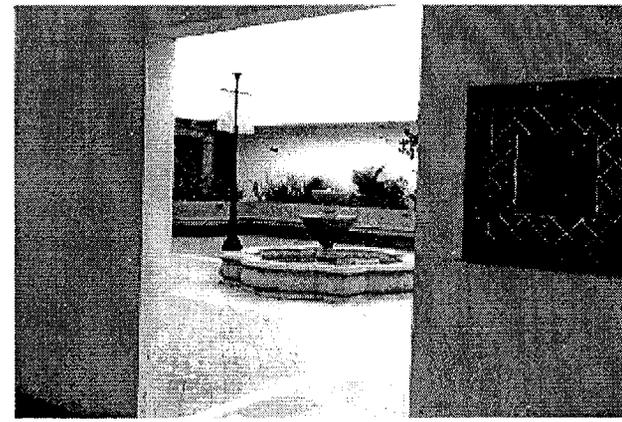
Points	Original Townsite	University	Ranch
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**Shielding (excluding recessed fixtures)**

- 10 a. Building mounted artificial lighting sources (i.e.. bulbs and elements) are shielded from public view, except for low intensity decorative lighting not exceeding 45 watts per bulb.
- 0 b. Building mounted artificial lighting sources exceeding 45 watts per bulb are not shielded from public view.

**Exterior Lighting Fixtures (excluding recessed fixtures)**

- 10 a. Use of antique, pierced ceramic, pierced metal or other decorative fixtures. (Submit sample or specs for approval.)
- 10 b. Use of fixtures not meeting the criteria above.

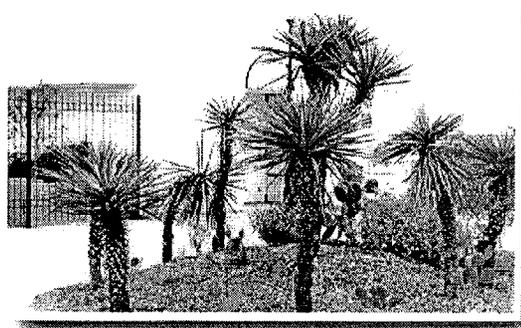
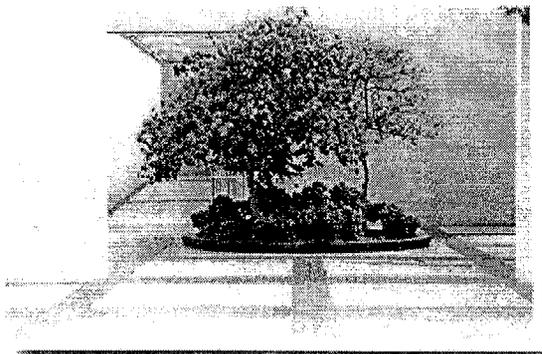
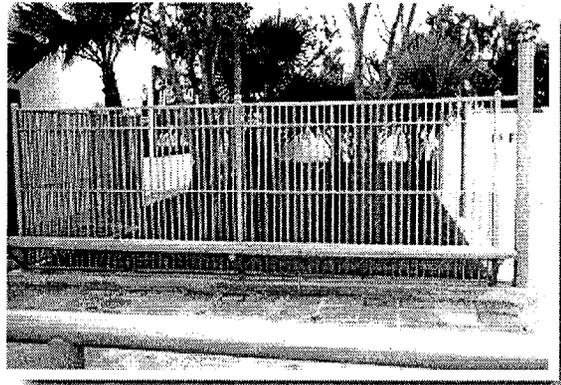
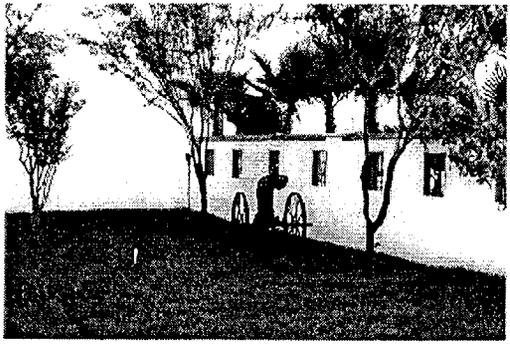
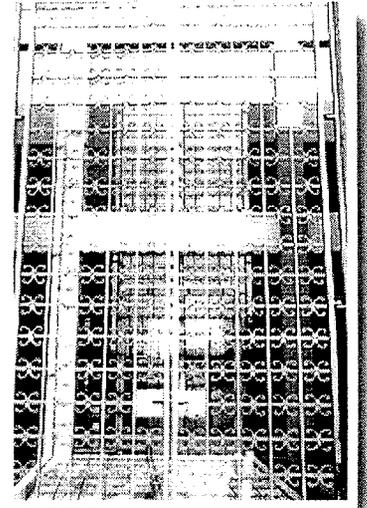


MISC.

Points	Original Townsite	University	Ranch
<b>Screening</b>			
10	a.	Mechanical, communications, and service equipment, including satellite dishes and vent pipes, are screened from public view by parapets, walls, fences, dense evergreen foliage, or by other means.	
5	b.	All building mounted equipment set forth in subsection above is either screened and/or painted to match visually adjacent surfaces.	
-10	c.	All building mounted equipment set forth in first paragraph above is not screened and/or painted to match visually adjacent surfaces.	
<b>Public Areas</b>			
20	a.	Project contains courtyards, fountains, public art or landscaping visible to public.	
-20	b.	Project does not contain courtyards, fountains, public art or landscaping visible to public.	
<b>Signage</b>			
20	a.	Signage meets recommended guidelines.	
-20	b.	Signage does not meet recommended guidelines.	

**MISC.**

<b>Points</b>		<b>Original Townsite</b>	<b>University</b>	<b>Ranch</b>
<b>Fence Materials</b>				
10	a.	Stucco. Brick. Limestone. Wrought iron. ICUM	“	“
5	b.	Wood. Concrete.	“	“
0	c.	NON-ICUM, metal, chain link. Painted concrete or block.	“	“
<b>Fence Color</b>				
10	a.	Earthtones or black or green wrought iron.	“	“
5	b.	Pastel, white, low-intensity colors.	“	“
0	c.	High intensity or bright colors.	“	“
<b>Native Landscape</b>				
10	a.	50% of plant material except grass is from approved Native Plant List.		
0	b.	Less than 50% of plant material is approved from Native Plant List.		
<b>Exterior Walk Surface Material</b>				
10	a.	Brick pavers. Tile. Stone.	“	“
5	b.	Stamped concrete, aggregate.	“	“
0	c.	Concrete.	“	“
-10	d.	Asphalt.	“	“



## **CITY OF EDINBURG SUGGESTED SIGN STANDARDS**

The suggested sign standards govern the design, color, texture, finish, materials, location and size of signs within the City. These standards are set forth to assure that the unique aesthetic and architectural character of Edinburg will not be impaired due to signage of excessive size, intense illumination, gaudy colors, or high-tech design.

### **NUMBER**

For up to two businesses on one property, no more than three signs per business are allowed and the total square footage of the signs shall not exceed 50 sq ft.;

This is exclusive of free standing signs.

For three or more businesses on one property, no more than two signs per business are allowed and the total square footage of the two signs shall not exceed 50 sq ft.;

This is exclusive of free standing signs.

### **LOCATION**

Permanent signs are prohibited on balconies, galleries, sheds, roofs, doors, windows, fences and free standing walls. Signs painted directly on walls, and signs that disfigure or conceal architectural features or details, are also prohibited. No sign shall be located in a public right-of-way.

### **ILLUMINATION/MOTION**

Signs that flash, blink, revolve, move, vary in intensity or appear to be in motion are prohibited.

Sign illumination shall be evenly distributed and bulbs, neon tubing and other light sources shall be concealed from public view.

Electric neon signs may only be placed inside glass windows and doors.

### **COLOR/DESIGN**

Sign color and design shall be attractive and in keeping with the architectural character of the building and the vicinity.

### **AWNINGS/FLAGS/BANNERS**

Awnings shall be of cloth or a similar material.

Flags, banners, and awnings shall not be permitted as advertising. Awnings, however, may have the name of the business along the lower edge or fringe in letters not exceeding 8 inches.

### FREE-STANDING SIGNS

A 16 square foot single face free-standing sign is permitted where a building is set back more than two feet from adjacent building facades.

A two-faced free-standing sign is permitted if a building is situated on at least a one acre parcel with a minimum 50 foot front setback from the front property line. The maximum area of each face shall not exceed 50 sq. ft. and the face dimensions shall not exceed ten feet in width or five feet in height.

Free-standing signs shall not exceed 15 feet in height and must have at least ten feet between the base of the sign and the ground, unless the sign is placed on the ground and does not exceed 50 sq ft in area and five feet in height.

### HANGING SIGNS

The minimum height to the bottom of a hanging sign shall be six feet eight inches above the ground or sidewalk.

The maximum size of a hanging sign shall be 10 square feet.

The maximum letter height shall be eight inches.

The maximum sign thickness shall be 6 inches.

### WALL SIGNS

Wall signs shall not exceed 20 square feet or 15% of the facade area, whichever is less.

The maximum letter height shall be 20 inches.

No wall sign shall exceed 15 feet above street grade.

Maximum projection of a wall mounted sign shall be three inches, unless the bottom of the sign is at least six feet eight inches above the ground or sidewalk, in which case the maximum projection shall be eight inches.

### PROJECTING SIGNS

All projecting signs shall be at least ten feet above the ground or sidewalk. No projecting sign may rise above the roof line, parapet or first story.

Two signs are permitted per place of business if one is a projecting sign and the other a wall sign and if the wall sign is reduced in size to one half the size of the projecting sign.

The maximum letter size shall be eight inches.

Projecting signs may project four feet from the supporting wall.

#### PROJECTING SIGNS (continued)

Projecting signs shall not exceed 16 square feet in area.

Projecting signs shall not exceed twelve inches in thickness.

Projecting signs over driveways and alleys shall be a minimum of 15 feet above grade.

Marquees shall not exceed 115 square feet per marquee face nor extend more than eight feet from the supporting wall.

Marquees are allowed only for theaters showing motion pictures or for theaters having permanent seating and presenting dramatic, musical, or live performances.

#### TEMPORARY SIGNS

Temporary signs shall not have more than one dimension exceeding five feet nor have an area exceeding fifty square feet.

No temporary sign shall extend over or into any street, alley, sidewalk or other public thoroughfare nor shall it be erected so as to prevent free ingress or egress from any door, window, or fire escape.

A business shall not display a temporary sign on a premises for more than fourteen days per year.

#### EXEMPTED SIGNS

The provisions of this ordinance do not apply to the following signs.

Real estate signs not exceeding sixteen square feet in area which advertise the sale, rental, or lease of the premises on which such signs are located.

One professional name plate per building not exceeding four square foot in area.

One bulletin board not exceeding 12 square feet in area for public charitable or religious institutions when the same is located on the premises of such institutions.

Signs denoting the architect, engineer or contractor when placed on work under construction and not exceeding thirty two square feet in area.

An occupational sign denoting only the name and profession of an occupant in a commercial building, public institution building or dwelling house, and not exceeding four square feet in area.

Memorial signs or tablets and names of buildings or date of erection when cut into any masonry surface or when constructed of bronze or other permanent material.

Traffic or other municipal signs, legal notices, railroad crossing signs, danger signs and temporary emergency or non-advertising signs as may be approved by the city.

Signs denoting whether a business is open or closed and traffic signs for private businesses, none of which shall exceed four square feet in area.

# SIGNAGE

